

District – RMH-A to the Residential District – R1 and Commercial District – C, within the Village of Clyde Land Use Bylaw 2008-10:

i. Part of Certificate of Title 202 262 723 +2, legally described as:

RAILWAY PLAN 981AT
RIGHT OF WAY IN TOWNSHIP 59
RANGE 25 MERIDIAN 4
COMPRISING PARTS OF:
SECTION HECTARES ACRES MORE OR LESS
NE35 0.862 2.13
EXCEPTING THEREOUT:

	HECTARES	(ACRES)	MORE OR LESS
A) PLAN 9925320 ROAD	0.046	0.11	
B) PLAN 0426568 SUBDIVISION	0.366	0.90	

EXCEPTING THEREOUT ALL MINES AND MINERALS

and

ii. Part of Certificate of Title 202 262 723, legally described as:

RAILWAY PLAN 981AT
STATION GROUNDS IN TOWNSHIP 59
RANGE 25 MERIDIAN 4
COMPRISING PARTS OF:
SECTION HECTARES ACRES MORE OR LESS
NE35 0.902 2.23
EXCEPTING THEREOUT:

	HECTARES	(ACRES)	MORE OR LESS
A) PLAN 9925320 ROAD	0.052	0.13	

EXCEPTING THEREOUT ALL MINES AND MINERALS

and

iii. Part of Certificate of Title 062 168 110, legally described as:

PLAN 1453AJ
ALL THAT PORTION OF RAILWAY AVENUE (51 STREET) LYING NORTH OF THE WESTERLY PRODUCTION OF THE NORTH BOUNDARY OF FIRST STREET NORTH (52 AVENUE) CONTAINING, 0.862 HECTARES (2.13 ACRES) MORE OR LESS EXCEPTING THEREOUT ALL MINES AND MINERALS

and

iv. Certificate of Title 042 519 017, legally described as:

PLAN 0426568
BLOCK 15
LOT 1PUL (PUBLIC UTILITY LOT)
EXCEPTING THEREOUT ALL MINES AND MINERALS

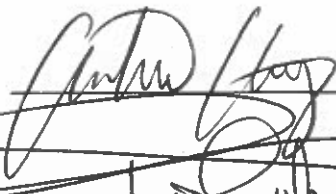
As shown on the attached Schedule B, which is attached to and forms part of this Bylaw;

3. The entire Land Use Bylaw is revised to correct minor formatting, spelling and grammatical errors, where the correction will not impact the interpretation or intent of the regulations therein;
4. The table of contents and internal references to specific sections throughout the Land Use Bylaw are updated to reflect the insertions and deletions described herein.
5. This Bylaw comes into full force and takes effect on the date of third and final reading.


READ A FIRST TIME THIS 12th DAY OF July , A.D. 2021,

READ A SECOND TIME THIS 13th DAY OF September , A.D. 2021,

READ A THIRD TIME THIS 13th DAY OF September , A.D. 2021,



Mayor



Chief Administrative Officer

Sept 20/2021

Date Signed

SCHEDULE "A"

PLAN SHOWING BYLAW AMENDMENT

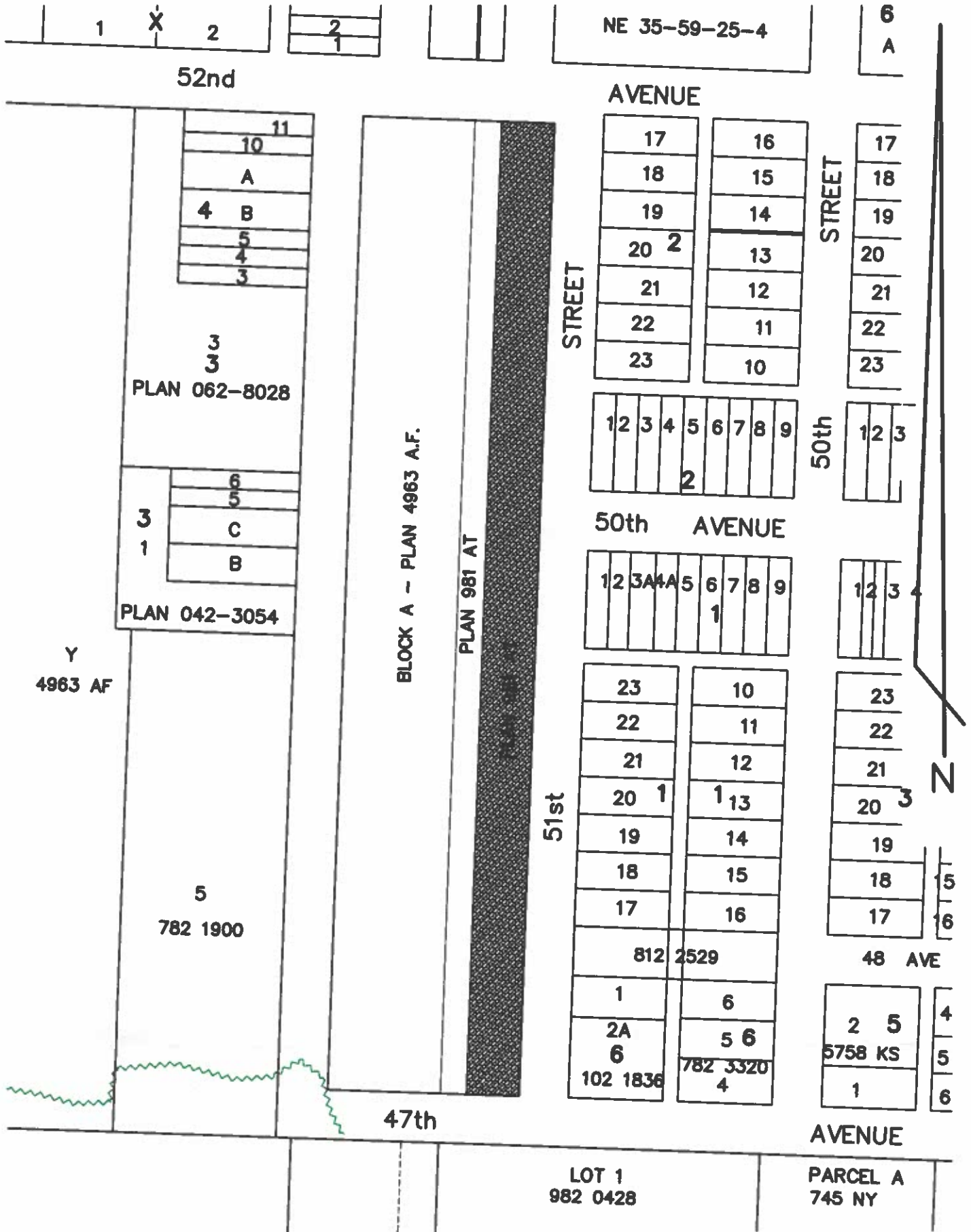
WITHIN

BLOCK A - PLAN 4963 A.F. & LOT 59 - BLOCK RLY. - PLAN 981 A.T.
 N.W. 1/4 SEC.5 - TWP.54 - RGE.6- W5M
 VILLAGE OF CLYDE

SCALE: 1:2000

2021

D. WILSON, A.L.S



NOTES:
 DISTANCES ARE IN METRES AND DECIMALS THEREOF
 AREA TO BE RE-ZONED FROM R-2 TO M SHOWN THUS

DON WILSON SURVEYS LTD.
 BOX 4120, BARRHEAD, ALBERTA
 T7N 1A1
 PHONE: (780) 674-2287
 FILE: 21119
 DATE: APRIL 1, 2021

SCHEDULE "B"
PLAN SHOWING BYLAW AMENDMENT
 WITHIN

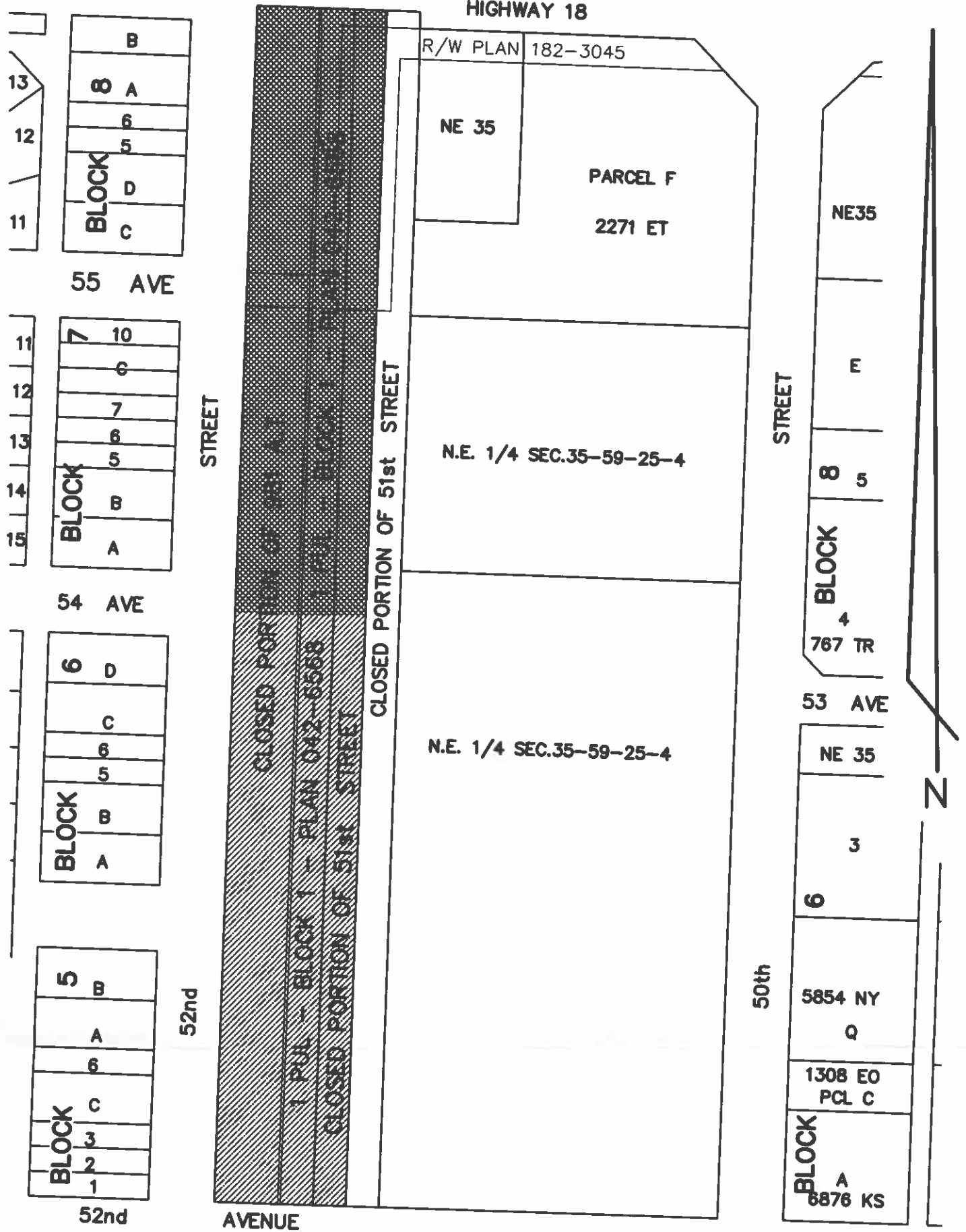
BLOCK A – PLAN 4963 A.F. & LOT 59 – BLOCK RLY. – PLAN 981 A.T. &
 OT – PALN 1453 A.J. (CLOSED PORTION OF 51st STREET)
 N.W. 1/4 SEC.5 – TWP.54 – RGE.6– W5M

VILLAGE OF CLYDE

SCALE: 1:1500

2021

D. WILSON, A.L.S



NOTES:

DISTANCES ARE IN METRES AND DECIMALS THEREOF
 AREA TO BE RE-ZONED FROM RMH-A TO R1 SHOWN THUS
 AREA TO BE RE-ZONED FROM RMH-A TO C SHOWN THUS



DON WILSON SURVEYS LTD.
 BOX 4120, BARRHEAD, ALBERTA
 T7N 1A1
 PHONE: (780) 674-2287
 FILE: 21120
 DATE: APRIL 6, 2021