



Permits & Regulations Guide to: Garages



STEP 1

Do I need permits?

Do you plan on demolishing an existing garage?

Yes? Then, you will need permits. **No?** Then, no permits are required.

Do you plan on moving in a pre-built garage?

Yes? Then, you will need permits. **No?** Then, no permits are required.

Do you plan on placing a garage or other building more than 10 sq. m. on skids on your lot?

Yes? Then, you will need permits. **No?** Then, no permits are required.

Do you plan to upgrade or replace an existing garage?

Yes? Then, you will need permits. **No?** Then, no permits are required.

Do you plan on building a carport or tent-type of garage?

Yes? Then, you will need permits. **No?** Then, no permits are required.

STEP 2

What other things do I need to consider before applying for a Development Permit?

General considerations:

1. No structure may be built over a gas line, utility easement or right-of-way.
2. Sidewalks, lanes or fence lines should not be used to determine your property line.
3. No structure may be built outside your property line.
4. If you do not have a Real Property Report to accurately verify where your property lines are located, have a property survey completed.
5. Surface or storm drainage may not be connected to your sewer system or directed toward neighboring properties.
6. Any development plans that will involve work with gas, electrical, and/or plumbing will need additional permits for each, after the Development Permit has been approved.
7. It is your responsibility to locate your property lines, any easements, rights-of-way or underground utilities.
8. Call Alberta One-Call at 1 (800) 242-3447 for assistance with finding underground utility lines.
9. Refer to the Land Use Bylaw for actual setback measurements in your district.
10. All setbacks are measured from your property line, as well as the foundation of your primary residence.

Garages (attached or detached):

1. Cannot be built over a utility meter.
2. Attached garages will change the footprint for your setbacks, upon completion.
3. Detached garages may only take up a maximum of 15% of your lot area. Total lot coverage, including residence and all accessory buildings, cannot exceed 40% of your lot.
4. Must have a regular entrance (person) door installed.
5. May have a floor drain that is connected to the sanitary sewer, provided it has a trap and is vented. No surface or storm drainage may be connected to the sanitary sewer.
6. May have water lines hooked up, provided it is connected from the primary residence.
7. Must not have a wood burning stove installed, where vehicles will be parked.
8. Must verify that an old garage site, falls within current setback requirements, if desiring to replace an old garage.
9. Garage suites may be included, provided they follow the guidelines laid out in the Land Use Bylaw.

Garage Suites:

1. Only one detached dwelling on a lot. (Excluding multi-dwelling buildings).
2. Only one suite per lot. (Classed as an accessory building).
3. Maximum building height is 35 ft. (10.7 m.) at the discretion of the Development Authority.

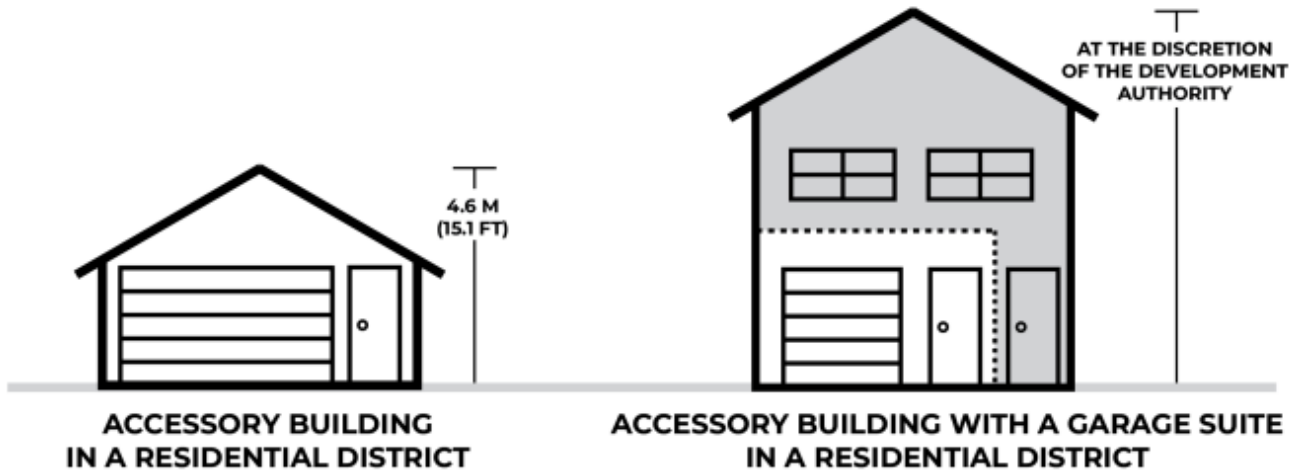


Figure 12: Maximum Height of an Accessory Building

4. Floor area must be between 322.9 sq. ft. (30 sq. m.) and 860 sq. ft. (80 sq. m.), excluding shared mechanical rooms and common areas.
5. Must include food prep area, sink, refrigerator, stove, 220V wiring, toilet, and bathing facilities.
6. Must have a separate entrance from the garage.
7. Each lot must have at least 3 on site parking spaces, with no additional approaches or driveways. Tandem parking may be permitted at the discretion of the Development Authority.

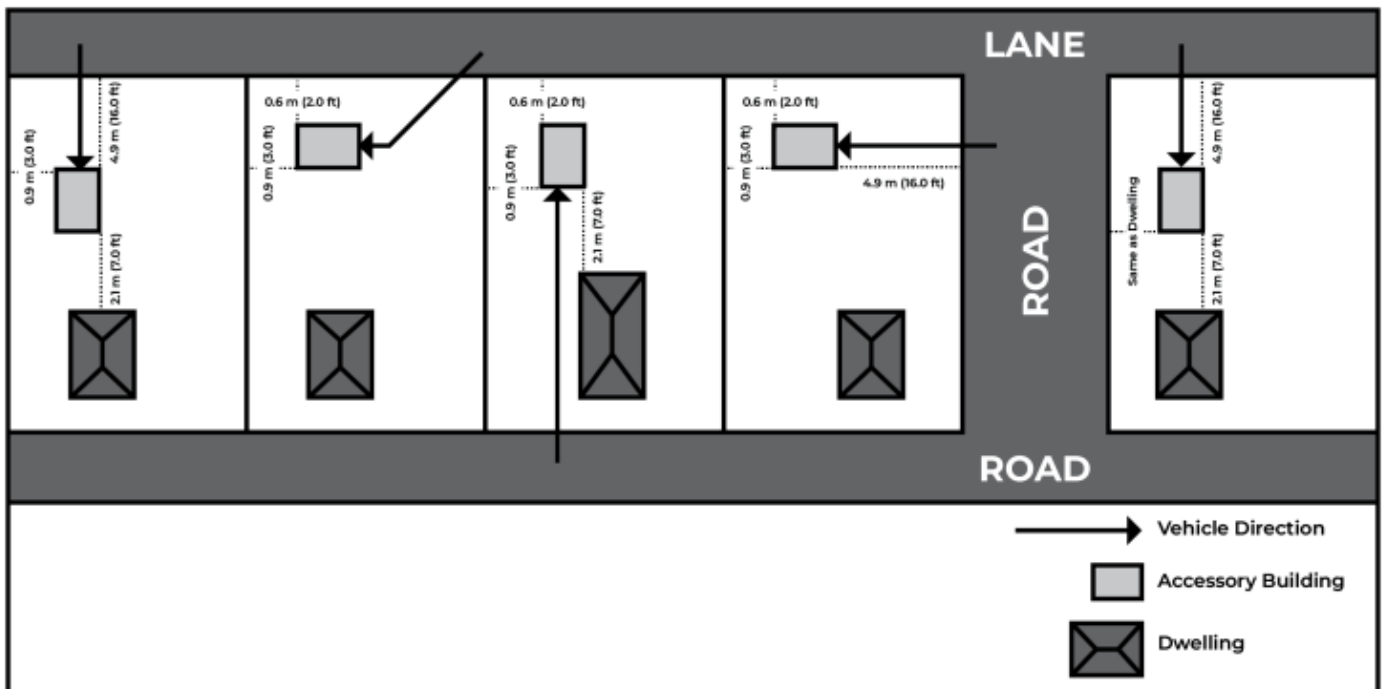


Figure 11: Location of Accessory Building

STEP 3

Where do I get my Permit applications?

1. Go to www.villageofclyde.ca/permit-license-bylaw, or
2. Pick up at the Village office (4812- 50 St. Clyde, AB)

STEP 4

What do I need for my application?

1. Prepare a site plan showing the dimensions of your lot, location of roadways and lanes, any existing structures including the location and dimensions of your proposed development. (tip: make a copy of your property survey or real property report to use as a base template and add the location and dimensions of your new development.)
2. Prepare three detailed sets of drawings*.
 - Make sure to include front & side view drawings of elevations, details of foundations, building, trusses, and any electrical, gas, or plumbing work.
 - *drawings from shed or deck package suppliers are allowed.
3. Submit your Development Application, Site Plan, one set of drawings and the Development Application Fee of \$30.00 to the Village Office.

**Do Not Start Any Construction Until All Required Permits Have Been Issued
And The Appeal Period Has Been Surpassed.**

STEP 5

What are my next steps?

1. Wait for your Development Application approval package.
2. Complete and submit your building permit application with the two remaining sets of drawings.
3. Complete all other applicable permit applications only after you have received your Development Application approval package.
4. Submit your gas, electrical, and/or plumbing applications to The Inspections Group Inc. contact assigned in your Development Application approval package.

The Inspections Group Inc.
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Edmonton, AB, T5G 0E6
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license-bylaw](http://www.villageofclyde.ca/permit-license-bylaw)

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